

LEGEND:

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE/SETBACK
- PROPOSED FENCE
- SAWCUT
- EXISTING OVERHEAD WIRE
- EXISTING TREE/LANDSCAPING
- ADA PATH OF TRAVEL
- PARKING COUNT (EMPLOYEE/GUEST/ACCESSIBLE PARKING)
- STANDARD DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- HEAVY DUTY ASPHALT PAVEMENT
- DETECTABLE WARNING SYSTEM
- ADJACENT PROPERTY ACCESS EASEMENT

- ### TITLE REPORT EXCEPTIONS
- THE PROPERTY SHOWN AND DEPICTED HEREON IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THE FOLLOWING RECORD DOCUMENTS. (REFER TO COMPLETE DOCUMENT FOR FULL DETAILS):
- 3 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM INTERSTATE 80 HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED SEPTEMBER 13, 1949 AS BOOK 555, PAGE 505 OF OFFICIAL RECORDS. SHOWN HEREON.
 - 4 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1964 AS BOOK 1003, PAGE 467 OF OFFICIAL RECORDS. SHOWN HEREON.
 - 5 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL ACCESS AGREEMENT" RECORDED JULY 22, 1988 AS BOOK 3442, PAGE 489 OF OFFICIAL RECORDS.
 - 6 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL ACCESS AND DRAINAGE AGREEMENT" RECORDED SEPTEMBER 16, 2003 AS INSTRUMENT NO. 2003-124960 OF OFFICIAL RECORDS.
 - 7 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP PM 04-12 OF FRY'S ELECTRONICS RECORDED JULY 7, 2006 AND ON FILE IN BOOK 33, PAGE 24, OF PARCEL MAPS. FOR RIGHT OF WAY, PUBLIC UTILITIES, DRAINAGE, SEWER AND PRIVATE DRAINAGE AND INCIDENTAL PURPOSES. SHOWN HEREON.
 - 8 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL ACCESS AND PARKING AGREEMENT" RECORDED JULY 7, 2006 AS INSTRUMENT NO. 2006-0072786 OF OFFICIAL RECORDS.
 - 11 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "PERPETUAL CONSERVATION EASEMENT GRANT" RECORDED MARCH 10, 2008 AS INSTRUMENT NO. 2008-0018910-00 OF OFFICIAL RECORDS. SHOWN HEREON. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF CONSERVATION EASEMENT" RECORDED MARCH 10, 2008 AS INSTRUMENT NO. 2008-0018911-00 OF OFFICIAL RECORDS.
 - 12 AN EASEMENT FOR THE BACK WALL TENDONS AND INCIDENTAL PURPOSES, RECORDED JUNE 08, 2010 AS INSTRUMENT NO. 2010-0042763-00 OF OFFICIAL RECORDS. SHOWN HEREON.
 - 13 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED APRIL 25, 2014 AS INSTRUMENT NO. 2014-0026315-00 OF OFFICIAL RECORDS. APPROXIMATE LOCATION SHOWN HEREON.

SITE DATA

ADDRESS: 180 N. SUNRISE AVENUE
 APN: 013-213-030-000
 ZONING DISTRICT: COMMERCIAL (CC)
 FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.
 AREA SUMMARY: OUTDOOR DISPLAY: 154,702 S.F.
 BUILDING: 145,743 S.F.
 PARKING SUMMARY: (1 STALL/1000 S.F.) = 155 STALLS REQUIRED PER CITY CODE BASED ON OUTDOOR DISPLAY AREA.
 PROPOSED PARKING SPACES:
 GUEST AND EMPLOYEE: 134 SPACES
 APPRAISAL PARKING: 5 SPACES
 CLEAN AIR/CARPPOOL/EV: 17 SPACES
 SECURE PARKING: 433 SPACES
 TOTAL PARKING: 595 SPACES
 FRONT NORTH SUNRISE AVENUE: NO IMPROVEMENTS REQUIRED ALONG SUNRISE AVE.
 SETBACK: SIDE: N/A
 REAR INTERSTATE 80: 60'
 BIKE SUMMARY: 4 BIKE RACKS (8 SHORT TERM BIKE PARKING SPACES)
 4 BIKE LOCKERS (8 LONG TERM BIKE PARKING SPACES)
 16 BIKE PARKING SPACES TOTAL

CONSTRUCTION NOTES:

- 1 PROPOSED FENCE PER DETAIL 1 ON SHEET 5
- 2 PROPOSED SECURITY GATE PER DETAIL 1 AND 2 ON SHEET 5
- 3 PROPOSED CARWASH
- 4 PROPOSED NEW OVERHEAD DOORS PER ARCHITECTURAL PLANS
- 5 PROPOSED DETECTABLE WARNING
- 6 PROPOSED STRIPING
- 7 PROPOSED ASPHALT CONCRETE PAVEMENT REPLACEMENT
- 8 PROPOSED SIDEWALK REPLACEMENT

GRAPHIC SCALE IN FEET
 0 20 40 80
 SCALE
 1" = 40'
 WHEN PRINTED AT FULL SIZE (24"x36")

<p>DIAL BEFORE YOU DIG TOLL FREE 1-800-227-2600 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT</p>	ISSUE DATE DESCRIPTION DVS DRAIN BY AB DESIGNED BY AB CHECKED BY	ENGINEER'S SEAL 	DEPT. OF DEVELOPMENT SERVICES ACCEPTED BY: CITY ENGINEER DATE	Kimley-Horn 1100 TOWN AND COUNTRY, SUITE 700 ORANGE, CA 92668 (714) 336-1000 PREPARED UNDER THE DIRECT SUPERVISION OF: AMELIA BELTRAN, R.C.E. NO. XXXXX DATE:	SONIC AUTOMOTIVE 4401 COLWICK ROAD, CHARLOTTE, NC 20211	ECHO PARK-ROSEVILLE 180 NORTH SUNRISE AVENUE ROSEVILLE CA 95661	CITY OF ROSEVILLE PRELIMINARY OVERALL SITE PLAN	SHEET NO. 1 KH PROJECT NO. 017427022
	<p>APN: 013-213-030-000</p>							

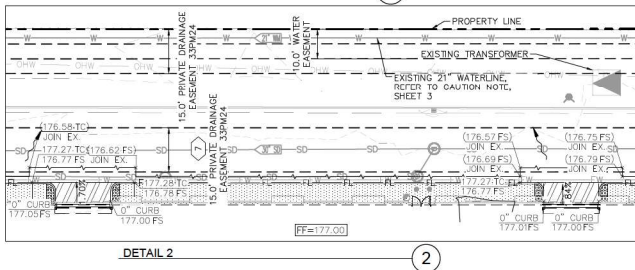
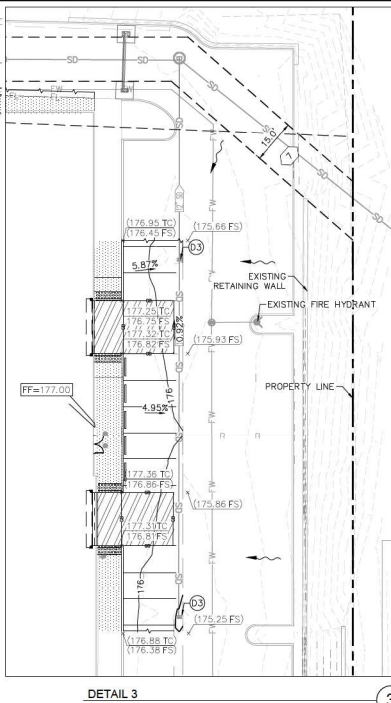
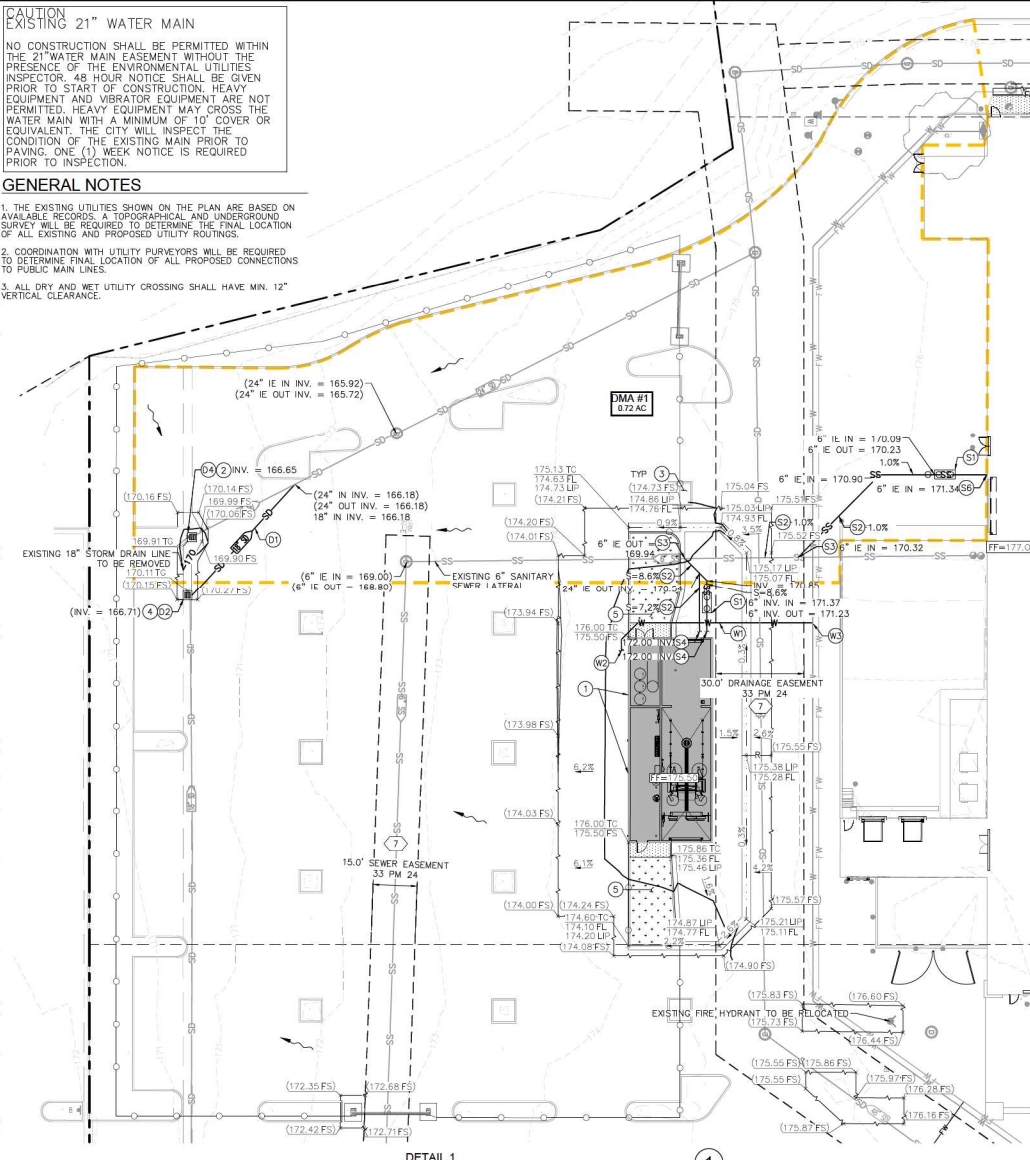
Drawing name: K:\004-112\A\Site - Anderson\A\07427022 Roseville, CA\004-112\A\Site\017427022 Overall Site Plan.dwg - 1: PRELIMINARY OVERALL SITE PLAN - Date: 10/20/21 - 8:11pm - by: Robbitt Edrington

CAUTION
EXISTING 21" WATER MAIN

NO CONSTRUCTION SHALL BE PERMITTED WITHIN THE 21" WATER MAIN EASEMENT WITHOUT THE PRESENCE OF THE ENVIRONMENTAL UTILITIES INSPECTOR. 48 HOUR NOTICE SHALL BE GIVEN PRIOR TO START OF CONSTRUCTION. HEAVY EQUIPMENT AND VIBRATOR EQUIPMENT ARE NOT PERMITTED. HEAVY EQUIPMENT MAY CROSS THE WATER MAIN WITH A MINIMUM OF 10' COVER OR EQUIVALENT. THE CITY WILL INSPECT THE CONDITION OF THE EXISTING MAIN PRIOR TO PAVING. ONE (1) WEEK NOTICE IS REQUIRED PRIOR TO INSPECTION.

GENERAL NOTES

1. THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. A TOPOGRAPHICAL AND UNDERGROUND SURVEY WILL BE REQUIRED TO DETERMINE THE FINAL LOCATION OF ALL EXISTING AND PROPOSED UTILITY ROUTINGS.
2. COORDINATION WITH UTILITY PURVEYORS WILL BE REQUIRED TO DETERMINE FINAL LOCATION OF ALL PROPOSED CONNECTIONS TO PUBLIC MAIN LINES.
3. ALL DRY AND WET UTILITY CROSSING SHALL HAVE MIN. 12" VERTICAL CLEARANCE.



LEGEND

- CENTER LINE
- - - PROPERTY LINE
- RIGHT OF WAY
- - - EASEMENT LINE / SETBACK LINE
- - - PROPOSED FENCE
- EXISTING WATER LINE
- - - EXISTING SANITARY SEWER LINE
- - - EXISTING UNDERGROUND ELECTRICAL LINE
- - - EXISTING UNDERGROUND TELECOMMUNICATIONS LINE
- - - EXISTING STORM DRAIN LINE
- PROPOSED WATER LINE
- - - PROPOSED SANITARY SEWER LINE
- - - EXISTING STORM DRAIN LINE
- - - PROPOSED RIDGE LINE
- - - PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- EXISTING FLOW
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SAWCUT
- DMA AREA

DMA TABULAR SUMMARY

DMA #	TOTAL DRAINAGE AREA (SF)	EXISTING IMPERVIOUS AREA (SF)	EXISTING PERVIOUS AREA (SF)	PROPOSED IMPERVIOUS AREA (SF)	PROPOSED PERVIOUS AREA (SF)
1*	31,201	30,018	1,183	29,928	1,273

*DMA 1 WILL CAPTURE AND TREAT UNDISTURBED AREA IN ORDER TO PROVIDE IN-LEU TREATMENT FOR THE PROJECT TOTAL DISTURBED AREA

DISTURBED AREA	
TOTAL DISTURBED AREA	ACRES
29,469	0.68
28,580	0.66
889	0.02
28,548	0.66
921	0.02

STORMWATER QUALITY NOTES

- 1 PROPOSED ROOF DRAINS ON CARWASH BUILDING TO SPILL AT GRADE.
- 2 PROPOSED CONTECH STORMFILTER DEVICE FOR STORMWATER QUALITY TREATMENT
- 3 PRESERVE ALL EXISTING TREES AND LANDSCAPING THAT IS NOT IMPACTED BY PROPOSED IMPROVEMENTS.
- 4 STORMWATER MESSAGE AND SIGNAGE TO BE INSTALLED AT ALL PROPOSED AND EXISTING INLETS
- 5 MINIMIZE IMPERVIOUS AREA

DOMESTIC WATER NOTES

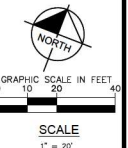
- (W1) INSTALL 1.5" DOMESTIC WATER LINE, PIPE BEDDING AND TRENCHING CITY OF ROSEVILLE, CONSTRUCTION STANDARDS, SECTION 31.
- (W2) DOMESTIC WATER POINT OF CONNECTION TO PROPOSED CAR WASH
- (W3) CONNECTION TO THE EXISTING 2" PRIVATE DOMESTIC WATER LINE

SANITARY SEWER NOTES

- (S1) INSTALL SAND AND OIL SEPARATOR GREASE INTERCEPTOR.
- (S2) INSTALL 6" DIP SEWER PIPE AT MINIMUM 2% SLOPE OR PER PLAN. PIPE BEDDING AND TRENCHING CITY OF ROSEVILLE, CONSTRUCTION STANDARDS, SECTION 31.
- (S3) CONNECT TO EXISTING 6" SEWER LATERAL. CONTRACTOR TO POTHOLE AND VERIFY LOCATION OF EXISTING LATERAL PRIOR TO TRENCHING AND SEWER INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION. CONTRACTOR TO SCOPE EXISTING LINE TO VERIFY CONDITION PRIOR TO TRENCHING AND SEWER INSTALLATION. BUILDING FRONT OF CONNECTION.
- (S4) POINT OF CONNECTION TO PROPOSED CAR WASH
- (S5) PROPOSED SANITARY SEWER PUMP STATION
- (S6) POINT OF CONNECTION TO EXISTING BUILDING

STORM DRAIN NOTES

- (D1) INSTALL 18" STORM DRAIN PIPE AT MINIMUM 0.5% SLOPE. PIPE BEDDING AND TRENCHING CITY OF ROSEVILLE, CONSTRUCTION STANDARDS, SECTION 31.
- (D2) INSTALL 36"x36" CATCH BASIN
- (D3) EXISTING 36"x36" CATCH BASIN TO REMAIN
- (D4) EXISTING 36"x36" CATCH BASIN TO BE REMOVED



ISSUE	DATE	DESCRIPTION

DRAWN BY: AB
DESIGNED BY: AB
CHECKED BY: _____

DEPT. OF DEVELOPMENT SERVICES
ACCEPTED BY: _____
DATE: _____

Kimley-Horn
1100 TOWN AND COUNTRY, SUITE 700
ORANGE, CA 92668
(714) 236-1000
PREPARED UNDER THE DIRECT SUPERVISION OF:
AMELIA BELTRAN, R.C.E. NO. XXXXX
DATE: _____

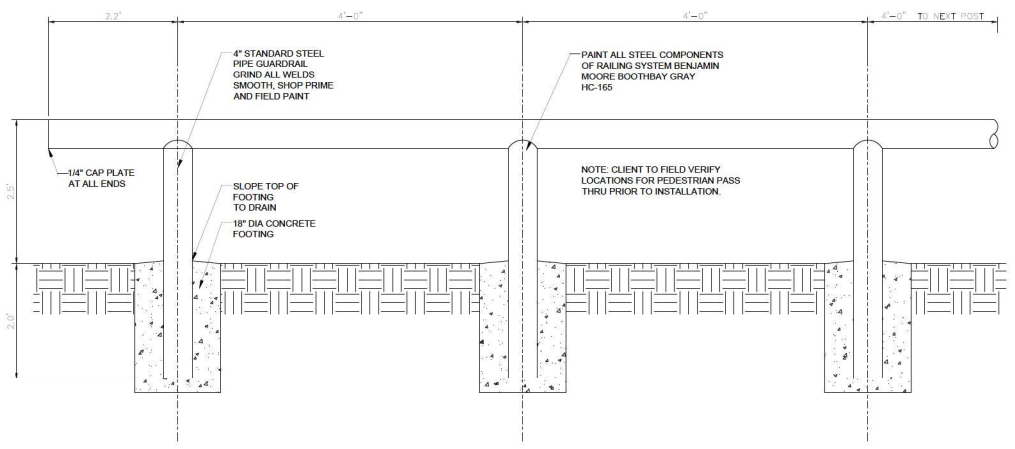
SONIC AUTOMOTIVE
4401 COLWICK ROAD,
CHARLOTTE, NC 20211

ECHO PARK-ROSEVILLE
180 NORTH SUNRISE AVENUE
ROSEVILLE CA 95661

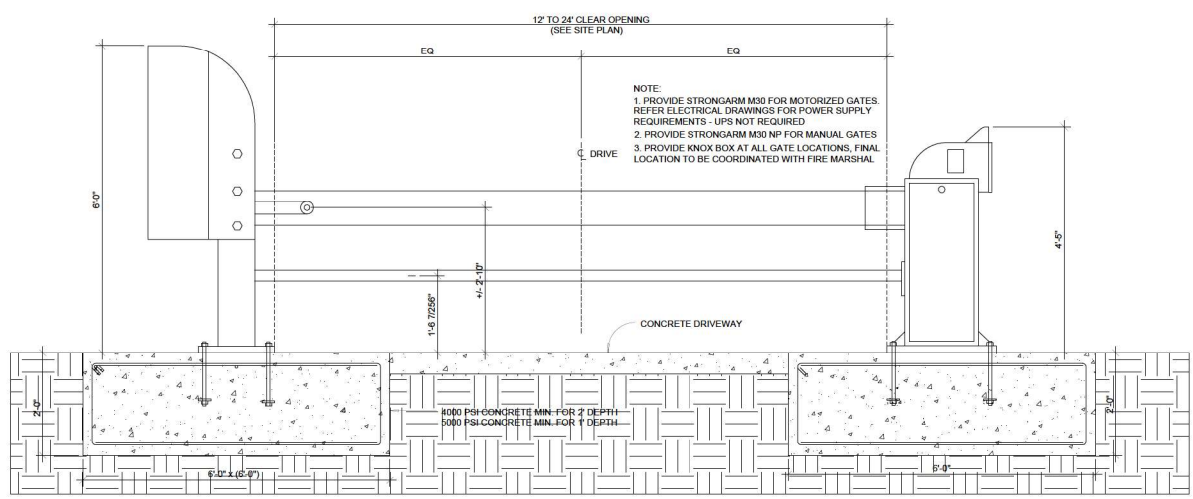
CITY OF ROSEVILLE
PRELIMINARY GRADING & UTILITY PLAN

SHEET NO. 4
KH PROJECT NO. 017427022

Drawing name: K:\004_116\A\Drawings\Drawings\071427022\Roseville, CA\CAD\Details\Barrier\CGI-Chief\Barrier_Detailed.dwg & PRELIMINARY DETAIL - Sep. 03. 2021 - 8:03am - by: Dallas Edwards
 This drawing is prepared by the engineer and is not to be used for any other project without the written consent of the engineer. The engineer is not responsible for any errors or omissions in this drawing.



SECURITY GUARD RAIL DETAIL
N.T.S. ①



StrongArm M30 / M30 NP operator, barrier arm and foundation dimensions
BARRIER ARM GATE DETAIL
N.T.S. ②



ISSUE	DATE	DESCRIPTION



DEPT. OF DEVELOPMENT SERVICES	
ACCEPTED BY:	
CITY ENGINEER	DATE

Kimley-Horn
 1155 TOWN AND COUNTRY, SUITE 700
 ORANGE, CA 92668
 (714) 936-1030
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 AMELIA BELTRAN, R.C.E. NO. XXXXX DATE:

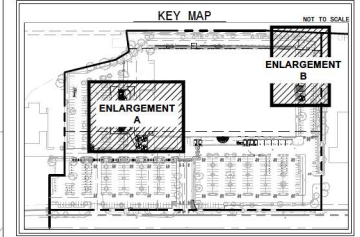
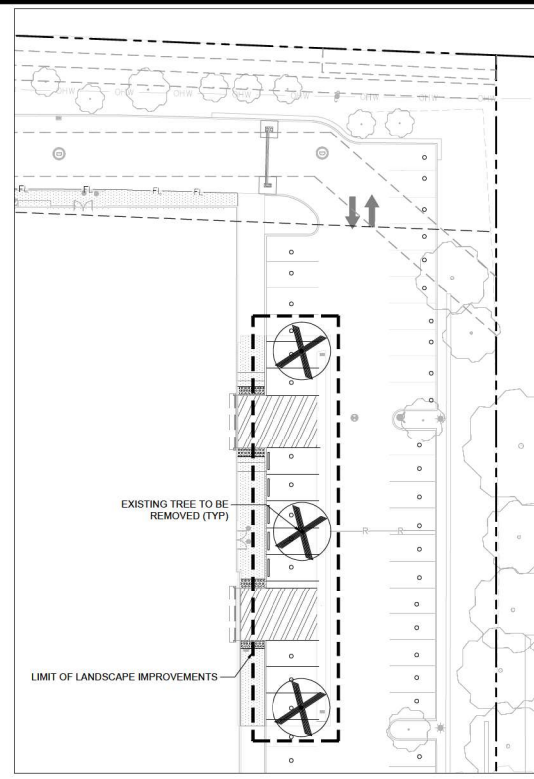
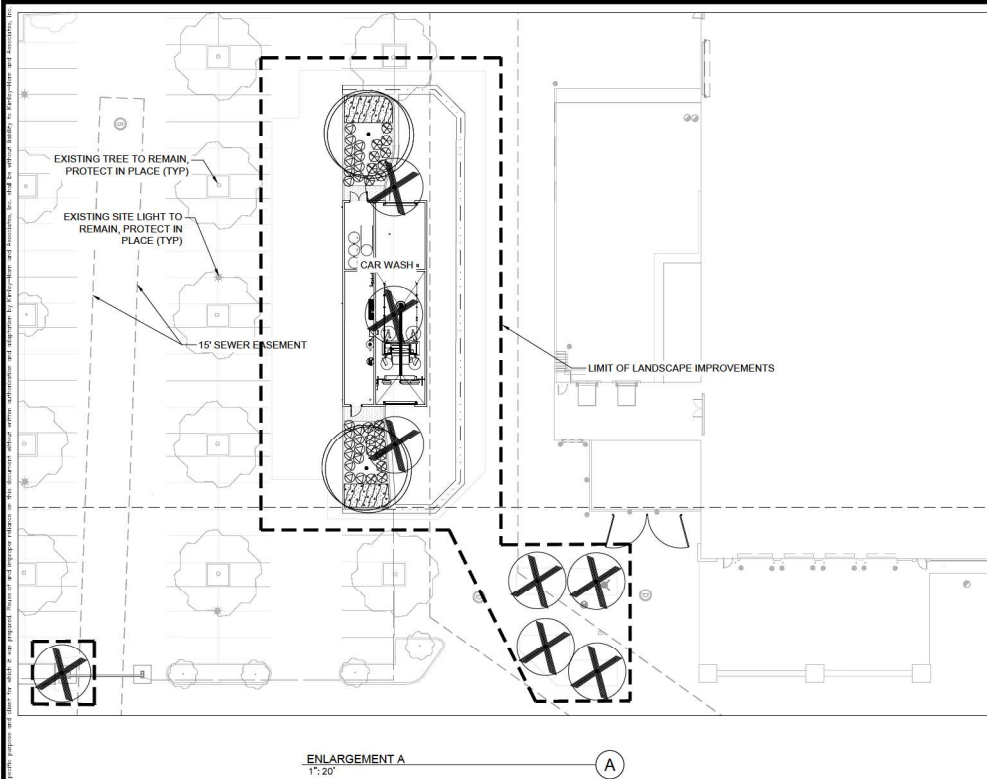
SONIC AUTOMOTIVE
 4401 COLWICK ROAD,
 CHARLOTTE, NC 20211

ECHO PARK-ROSEVILLE
 180 NORTH SUNRISE AVENUE
 ROSEVILLE CA 95661

CITY OF ROSEVILLE
PRELIMINARY DETAILS

SHEET NO.
5
KH PROJECT NO.
017427022

Drawing name: K:\024_1\EA\Site - Administration\071427022 - Roseville, CA\0203_Landscape\071427022.dwg - Site Plan - Sep 10, 2021 8:42am by: Dabbe Salazar



LANDSCAPE NOTE:
 THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN OFF. ALL SHRUB BERRS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF ROSEVILLE MUNICIPAL CODE.

IRRIGATION NOTE:
 AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURERS RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF ROSEVILLE MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AB-1881 AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
 Christopher L. Frey, LIA 6623

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
	ER	11	EXISTING TREE TO BE REMOVED	NA	NA	NA	NA
	UP	2	ULMUS PARVIFOLIA / LACEBARK ELM	24" BOX	7-8' HT. X 2'-3" SPR.	1" CAL.	MODERATE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	
	ML	21	MUHLENBERGIA LINDHEIMERI / LINDHEIMER'S MUHLY	5 GAL.	36" O.C.	LOW	
	RI	19	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL.	42" O.C.	MODERATE	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	
	RH	31	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	5 GAL.	36" O.C.	LOW	



ISSUE	DATE	DESCRIPTION	ED
			DRAIN BY
			ED
			DESIGNED BY
			LD
			CHECKED BY



DEPT. OF DEVELOPMENT SERVICES

ACCEPTED BY: _____

DATE: _____

CITY ENGINEER _____ DATE _____

Kimley-Horn
 1155 TOWN AND COUNTRY, SUITE 750
 ORANGE, CA 92668
 (714) 336-1000

PREPARED UNDER THE DIRECT SUPERVISION OF:
 CHRISTOPHER FREY, P.L.A., NO. 6623

SONIC AUTOMOTIVE
 4401 COLWICK ROAD,
 CHARLOTTE, NC 20211

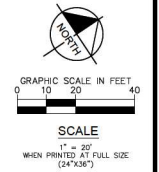
ECHO PARK-ROSEVILLE
 180 NORTH SUNRISE AVENUE
 ROSEVILLE CA 95661

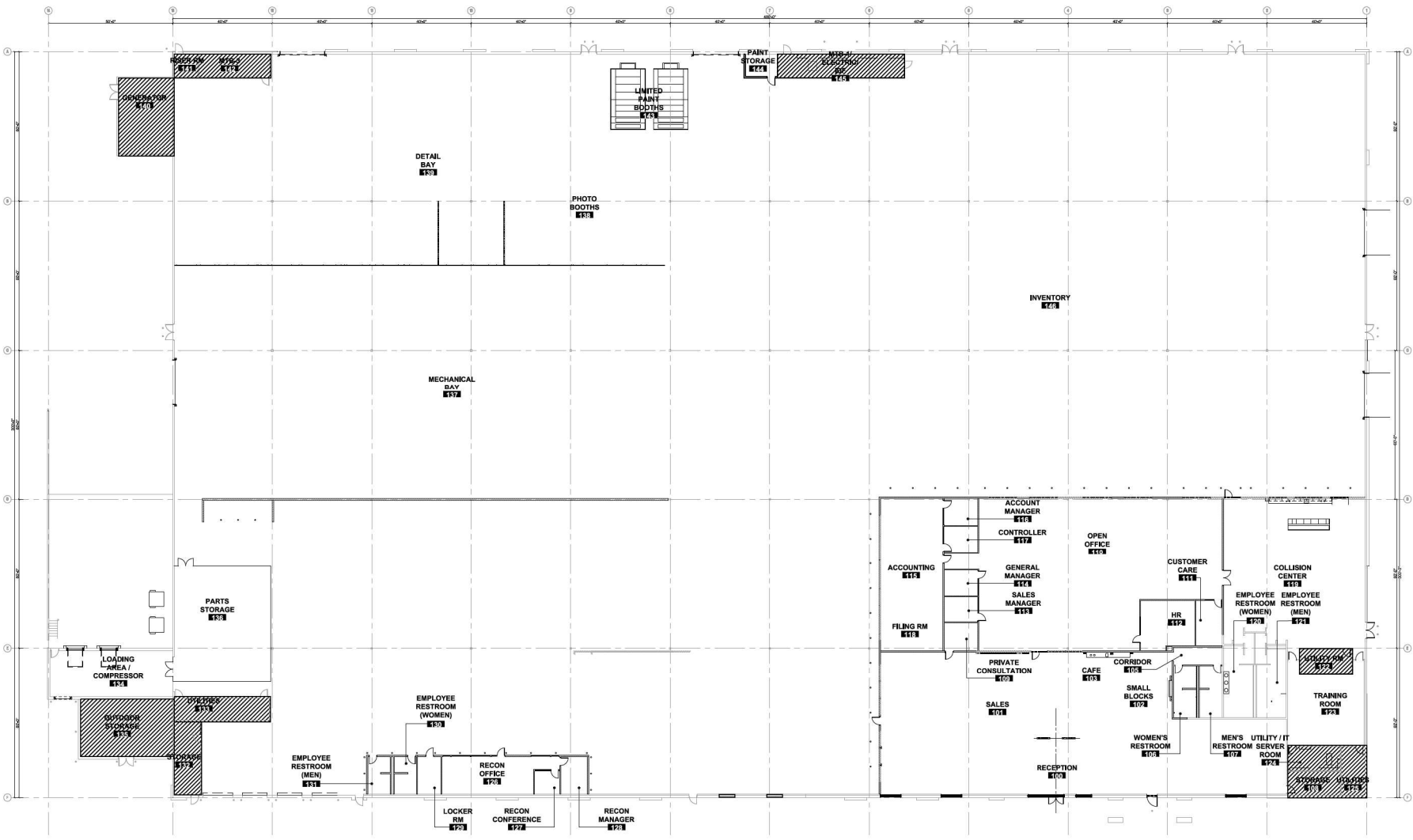
CITY OF ROSEVILLE

**PRELIMINARY
 LANDSCAPE PLAN**

SHEET NO. **6**

KH PROJECT NO. **017427022**





project info

ECHO PARK - ROSEVILLE
180 N. SUNRISE BLVD.
ROSEVILLE, CA 95661

ISSUE DATES

submissions	date
BUILDING PERMIT	08/20/21
BD	
CONSTRUCTION	

revisions

REV	DATE

designed by:
checked by:

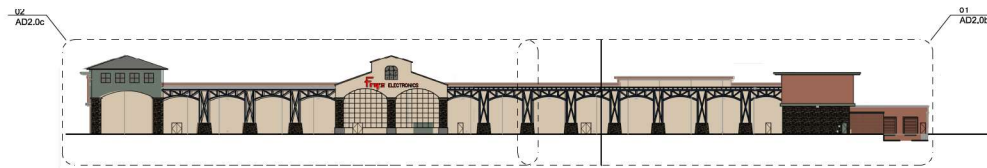
seal



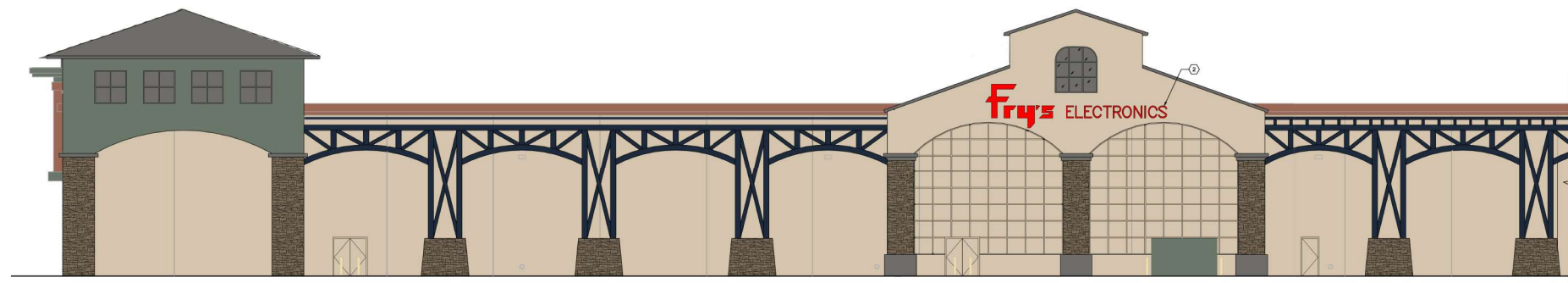
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OVERALL NOTED
FLOOR PLAN
A1.2

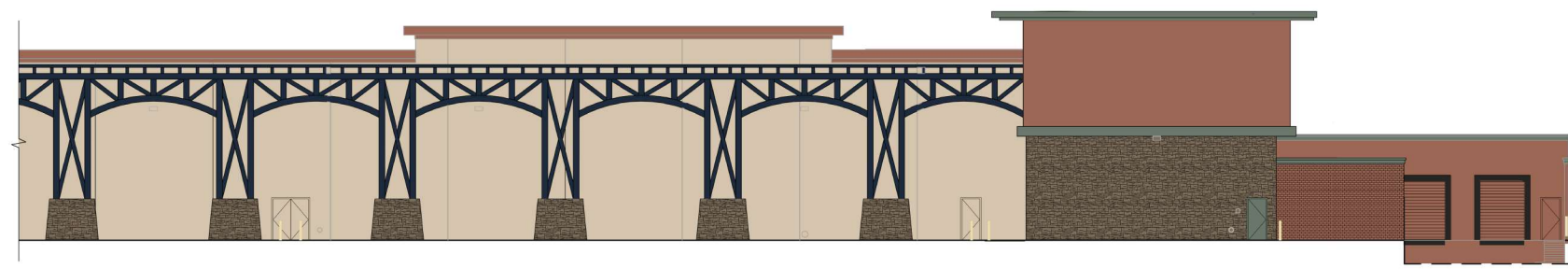




03 rear elevation (west)
SCALE | 1/4" = 1'-0"



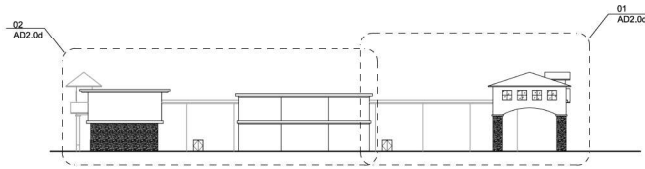
02 rear elevation - left side
SCALE | 1/8" = 1'-0"



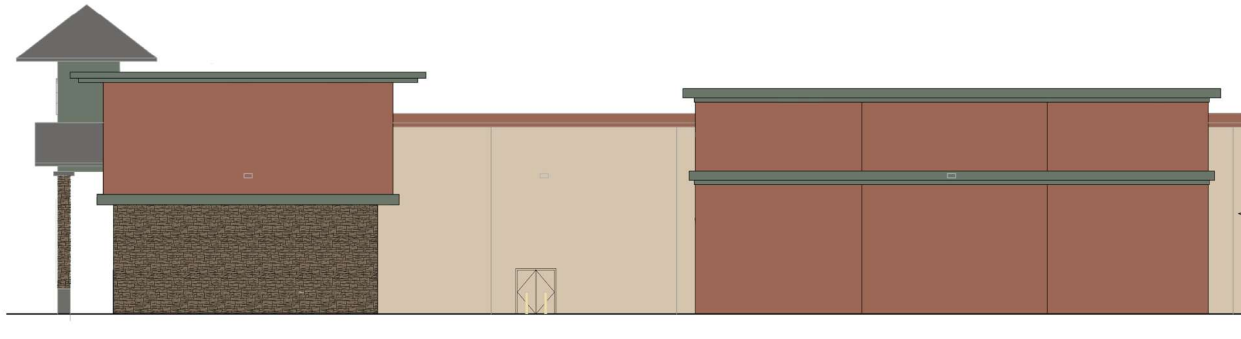
01 rear elevation - right side
SCALE | 1/8" = 1'-0"

general notes
A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

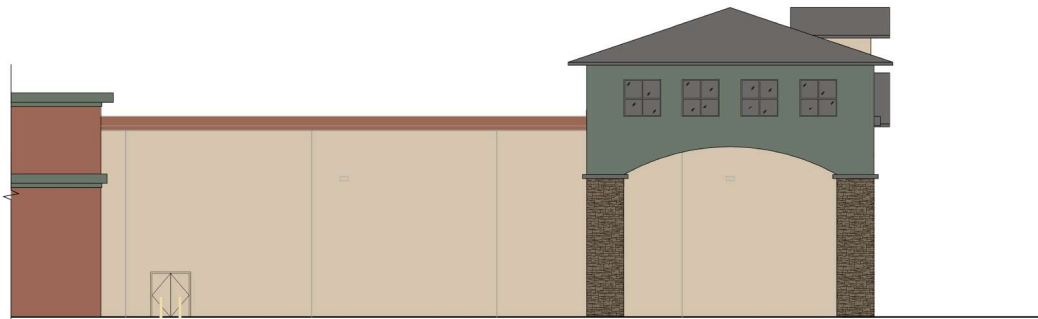
- keyed notes**
- ① REMOVE ENTRANCE FEATURE
 - ② REMOVE SIGNAGE
 - ③ REMOVE TRUSS FEATURE



03 right side elevation (north)
SCALE | 1/8" = 1'-0"



02 right side elevation- left side
SCALE | 1/8" = 1'-0"

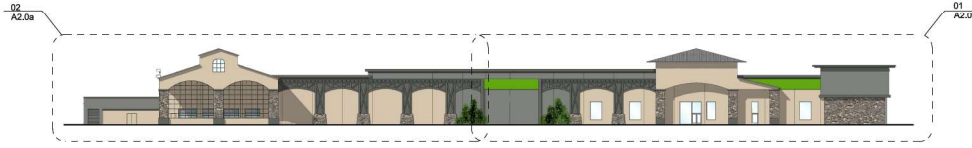


01 right side elevation - right side
SCALE | 1/8" = 1'-0"

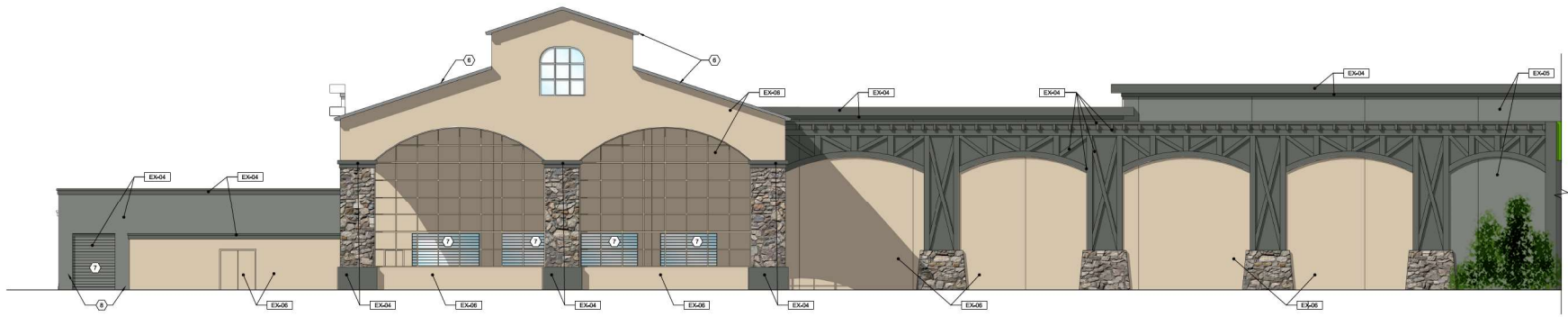
general notes

A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

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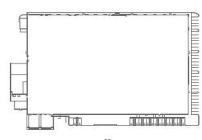
03 front elevation (east)
 SCALE | 1/4" = 1'-0"



02 front elevation- left side
 SCALE | 1/8" = 1'-0"



01 front elevation - right side
 SCALE | 1/8" = 1'-0"

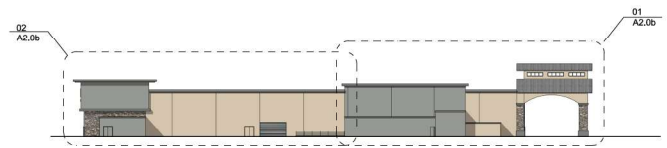


keyplan - main building
 SCALE | 1/4" = 1'-0"

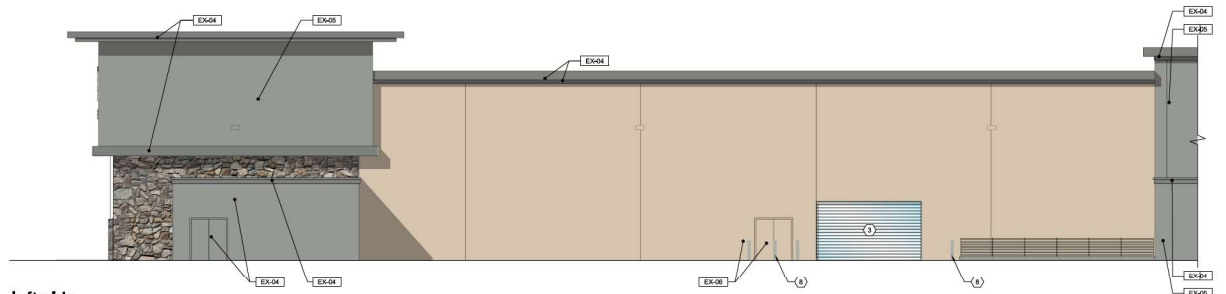
material schedule

MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
EX-04	PAIN	SHERWIN WILLIAMS	SW7058 GRIZZLE GRAY
EX-05	PAIN	SHERWIN WILLIAMS	SW7067 CITYSCAPE
EX-06	PAIN	SHERWIN WILLIAMS	SW6106 KILIM BEIGE
EX-07	PAIN	BENJAMIN MOORE	HC-166 BOOTHBY GRAY
EX-09	PAIN	BENJAMIN MOORE	BM427 NAPA VINEYARDS
EX-12	CMU	PER GC	8" INITIAL COLOR SPLITFACE CMU; COLOR: 2H 6106 KILIM BEIGE
EX-14B	GLAZING SYSTEM	KWANEER OR EQUAL	CHAMPAGNE ANODIZED

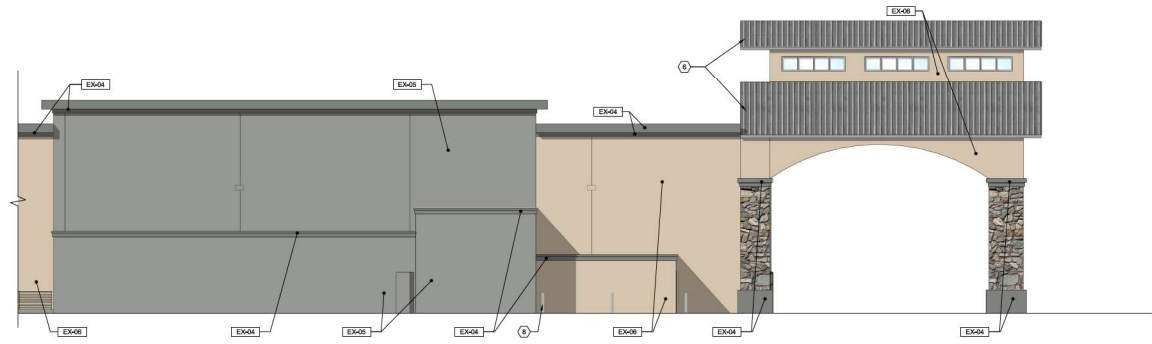
- general notes**
- A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- keyed notes**
- (1) NOT USED
 - (2) REMOVE EXISTING WATER TOWER AND TRAN ENTRANCE FEATURE, PATCH AND REPAIR AND REPAIR WALL AND PARAPET.
 - (3) INSTALL NEW OVERHEAD DOOR- FULL VIBRON GLASS.
 - (4) INSTALL NEW MAN DOOR, (EX-14B)
 - (5) NEW STOREFRONT (EX-14B)
 - (6) EXISTING STANDING SEAM METAL ROOF TO REMAIN
 - (7) EXISTING OVERHEAD DOOR TO REMAIN.
 - (8) PAINT ALL EXISTING BOLLARDS EX-07.



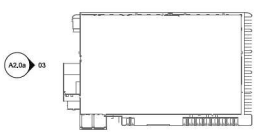
03 side elevation (south)
SCALE | 1/4" = 1'-0"



02 side elevation - left side
SCALE | 1/8" = 1'-0"



01 side elevation - right side
SCALE | 1/8" = 1'-0"



keyplan - main building
SCALE | 1/4" = 1'-0"

material schedule

MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
EX-04	PAINT	SHERWIN WILLIAMS	SW7068 GRIZZLE GRAY
EX-05	PAINT	SHERWIN WILLIAMS	SW7067 CITYSCAPE
EX-06	PAINT	SHERWIN WILLIAMS	SW6106 KILIM BERGE
EX-07	PAINT	BENJAMIN MOORE	HC-165 BOOTHBAY GRAY
EX-09	PAINT	BENJAMIN MOORE	BM427 NAPA VINEYARDS
EX-12	CMU	PER GC	8" INTEGRAL COLOR SURFACE DMU2 COLOR: 2W E506 KILIM BERGE
EX-14B	GLAZING SYSTEM	KWANEER OR EQUAL	CHAMPAGNE ANOXIZED

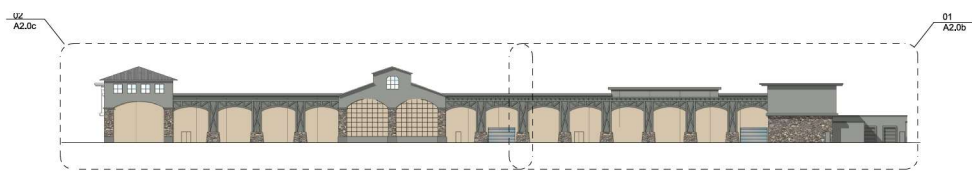
general notes

A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

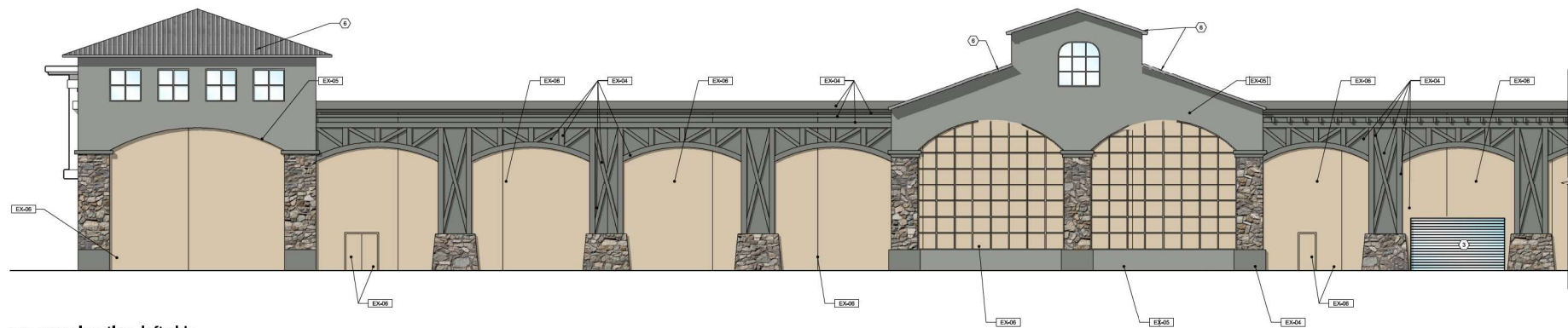
keyed notes

- (1) INSTALL NEW ECHO PARK SIGNAGE, REFER TO SIGNAGE SHEET FOR MORE INFORMATION.
- (2) REMOVE EXISTING WATER TOWER AND TRAIN ENTRANCE FEATURE. PATCH AND REPAIR AND REPAINT WALL AND PARKET.
- (3) INSTALL NEW OVER-HEAD DOOR - FULL VISION GLASS.
- (4) INSTALL NEW MAN DOOR, (EX-14B)
- (5) NEW STOREFRONT (EX-14B)
- (6) EXISTING STANDING SEAM METAL ROOF TO REMAIN
- (7) EXISTING OVER-HEAD DOOR TO REMAIN.
- (8) PAINT ALL EXISTING BOLLARDS EX-07.

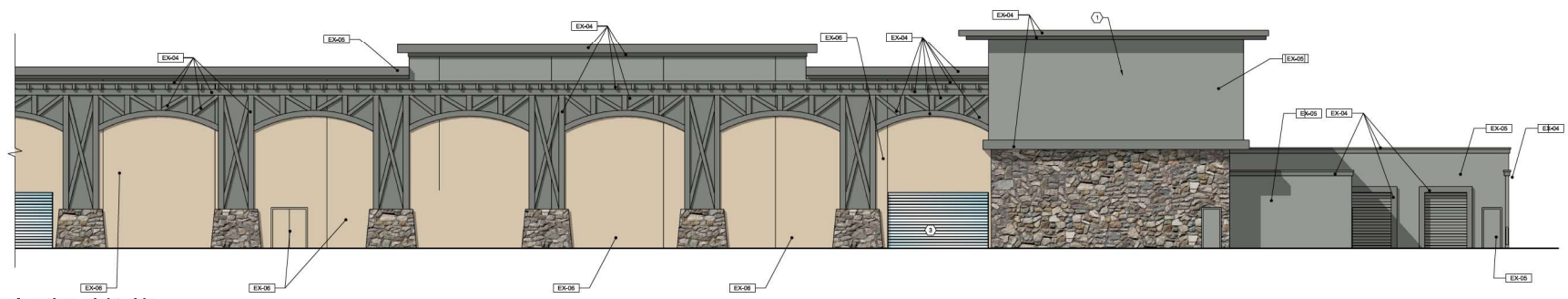
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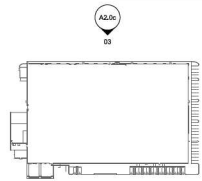
03 rear elevation (west)
SCALE | 1/4" = 1'-0"



02 rear elevation - left side
SCALE | 1/8" = 1'-0"



01 rear elevation - right side
SCALE | 1/8" = 1'-0"



keyplan - main building
SCALE | 1/4" = 1'-0"

material schedule

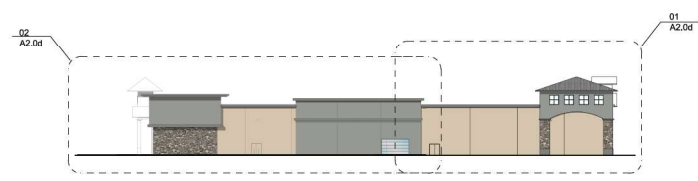
MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
EX-04	PAIN	SHERWIN WILLIAMS	SW7058 GREZZLE GRAY
EX-05	PAIN	SHERWIN WILLIAMS	SW7057 CITYSCAPE
EX-06	PAIN	SHERWIN WILLIAMS	SW6105 KULM BEIGE
EX-07	PAIN	BENJAMIN MOORE	HC-165 SMOOTHBAY GRAY
EX-08	PAIN	BENJAMIN MOORE	BM427 NAPA VINEYARDS
EX-12	CMU	PER GC	8" INTEGRAL COLOR SPLITFACE CMU-COLOR: 2XV 6105 KULM BEIGE
EX-14B	GLAZING SYSTEM	KWANEER OR EQUAL	CHAMPAGNE ANODIZED

general notes

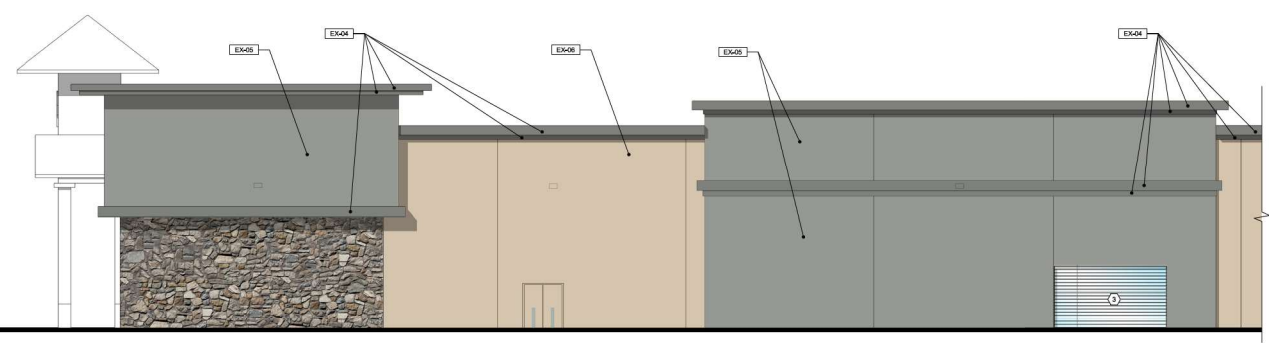
A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

keyed notes

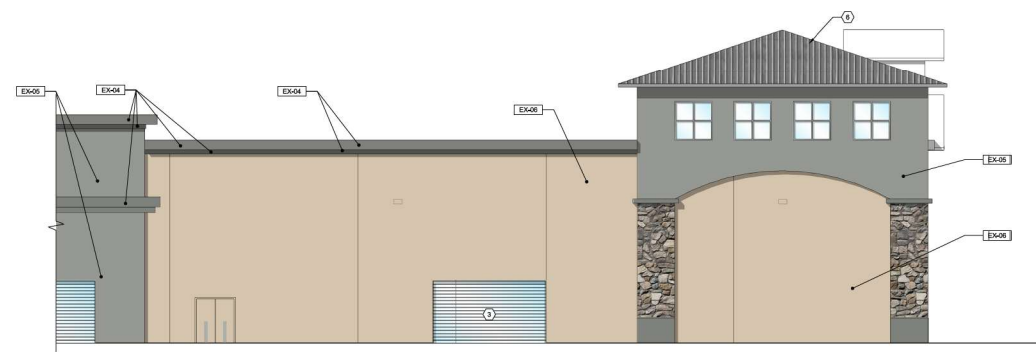
- (1) NOT USED
- (2) REMOVE EXISTING WATER TOWER AND TRAIN ENTRANCE FEATURE.
- (3) INSTALL NEW OVERHEAD DOOR - FULL VISION GLASS.
- (4) INSTALL NEW MAIN DOOR.
- (5) NEW STOREFRONT
- (6) EXISTING STANDING SEAM METAL ROOF TO REMAIN



03 right side elevation (north)
SCALE | 1/4" = 1'-0"



02 side elevation - left side
SCALE | 1/8" = 1'-0"



01 side elevation - right side
SCALE | 1/8" = 1'-0"



keyplan - main building
SCALE | 1/4" = 1'-0"

material schedule

MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
EX-04	PAINT	SHERWIN WILLIAMS	SW7068 GREZLE GRAY
EX-05	PAINT	SHERWIN WILLIAMS	SW7067 CITYSCAPE
EX-06	PAINT	SHERWIN WILLIAMS	SW6105 KILIM BERBE
EX-07	PAINT	BENJAMIN MOORE	HC-165 BOOTHBAY GRAY
EX-09	PAINT	BENJAMIN MOORE	BM427 NAPA VINEYARDS
EX-12	CMU	PER GC	8" INTEGRAL COLOR SURFACE CMU COLOR: 2W E536 SILUM BERBE
EX-14B	GLAZING SYSTEM	KWANEER OR EQUAL	CHAMPAGNE ANOXIZED

general notes

A. ALL FINISHES AND MATERIALS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

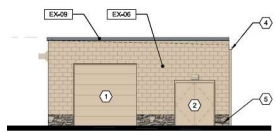
keyed notes

- ① INSTALL NEW ECHO PARK SIGNAGE;
- ② REMOVE EXISTING WATER TOWER AND TRAIN ENTRANCE FEATURE;
- ③ INSTALL NEW OVERHEAD DOOR - FULL VIEWON GLASS;
- ④ INSTALL NEW MAIN DOOR;
- ⑤ NEW STOREFRONT;
- ⑥ EXISTING STANDING SEAM METAL ROOF TO REMAIN

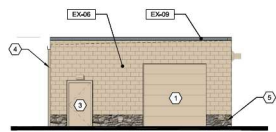
submittals	date
PRE-APPLICATION	04-14-2021
CUPADRP MOD	08-08-2021

revision#	date
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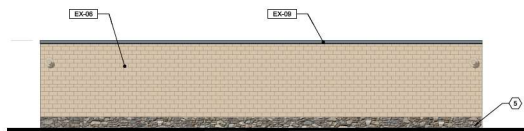
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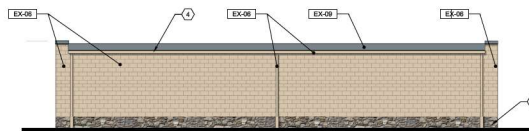
03 carwash elevation - north
SCALE | 1/8" = 1'-0"



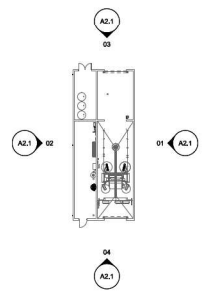
04 carwash elevation (south)
SCALE | 1/8" = 1'-0"



01 carwash elevation - right side
SCALE | 1/8" = 1'-0"



02 car elevation - left side
SCALE | 1/8" = 1'-0"



keyplan - carwash
SCALE | N.T.S.

material schedule

MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
EX-04	PAINT	SHERWIN WILLIAMS	SW7068 GREZLE GRAY
EX-05	PAINT	SHERWIN WILLIAMS	SW7067 CITYSCAPE
EX-06	PAINT	SHERWIN WILLIAMS	SW9106 NUBM BEIGE
EX-07	PAINT	BENJAMIN MOORE	HC-165 BOOTHBAY GRAY
EX-08	PAINT	BENJAMIN MOORE	BM427 NAPA VINEYARDS
EX-12	CMU	PER GC	8" INTEGRAL COLOR SPLITFACE CMU COLOR 20V 6106 NUBM BEIGE
EX-18	GLAZING SYSTEM	KWANEER OR EQUAL	CHAMPAGNE ANODIZED

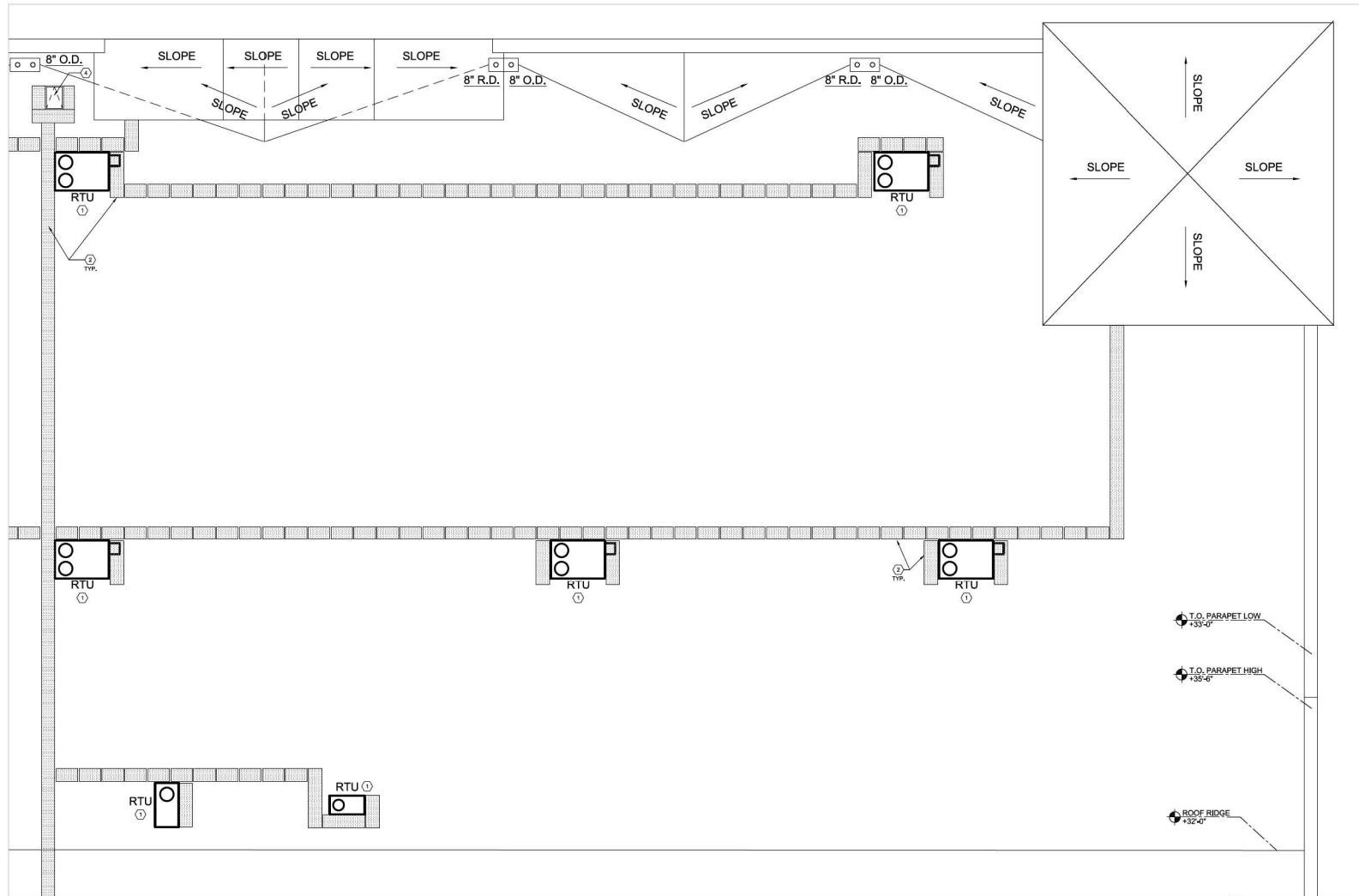
general notes

A. ALL FINISHES AND MATERIALS ARE TO MATCH EXISTING BUILDING UNLESS NOTED OTHERWISE.

keyed notes

- (1) INSTALL NEW OVERHEAD DOOR
- (2) INSTALL NEW MAIN DOOR (EX-08)
- (3) INSTALL NEW DOUBLE DOOR (EX-08)
- (4) INSTALL NEW GUTTER AND DOWNSPOUT (EX-08)
- (5) NEW CULTURED STONE CLADDING TO MATCH CLADDING ON EXISTING BUILDING.

THESE RECORD DRAWINGS, IN THE FORM OF REVISIONS TO THE CONTRACT DOCUMENTS, REFLECT THE CHANGES IN THE WORK MADE DURING CONSTRUCTION AND ARE BASED ON THE INFORMATION FURNISHED BY THE CONTRACTOR TO THE ARCHITECT. WOOD PARTNERS, HAS NOT REVIEWED THE INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY, ERRORS, OMISSIONS, AND COMPLETENESS OF THE INFORMATION IN THESE DRAWINGS PROVIDED BY THE CONTRACTOR.



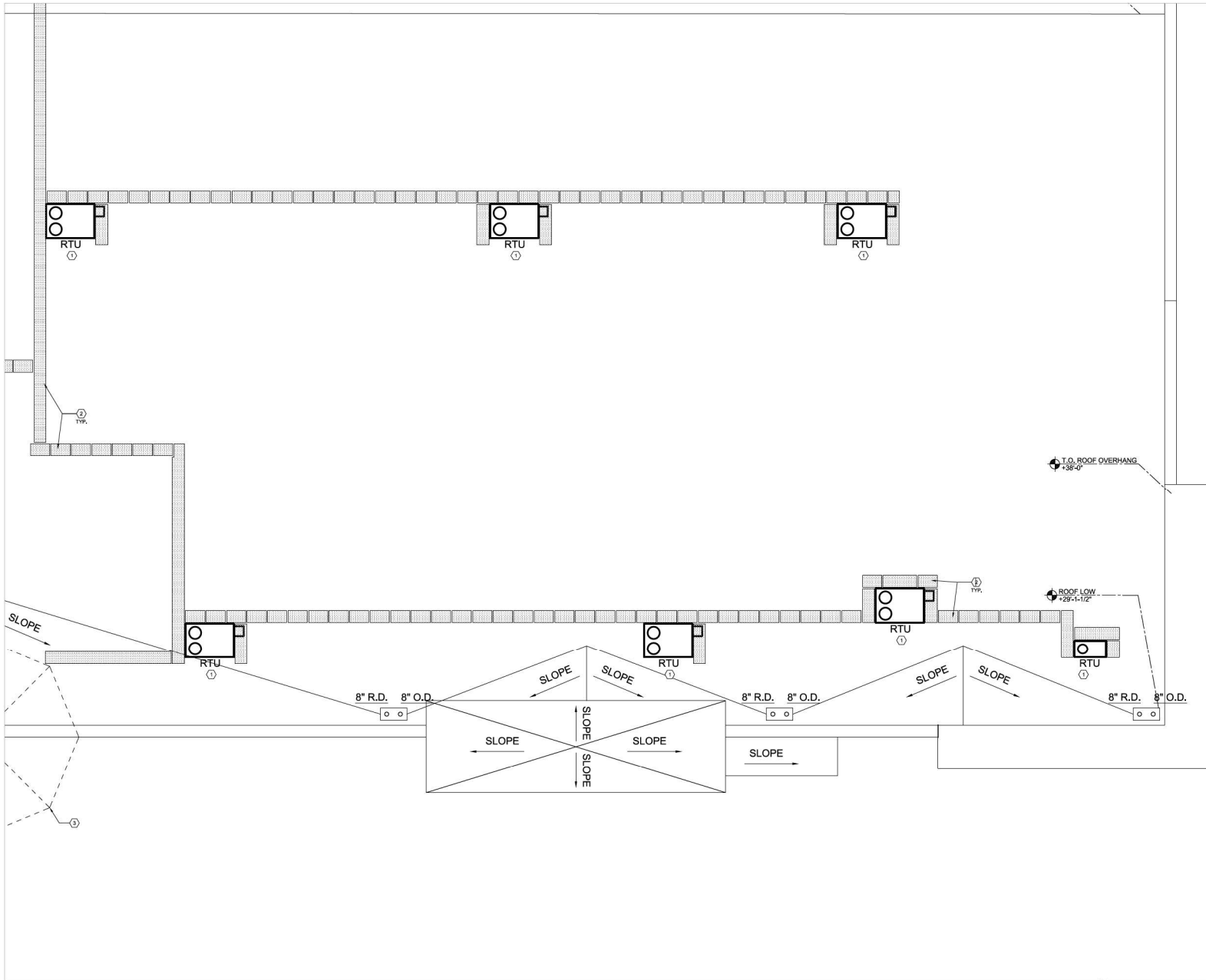
01 roof plan
SCALE | 1/8" = 1'-0"



keyed notes

- ① EXISTING RTU MOUNTED ON EXISTING ROOF CURB.
- ② EXISTING NON-SLIP ROOF WALKING SURFACE.
- ③ EXISTING "WATER TOWER" FEATURE AND ASSOCIATED STRUCTURAL CONNECTIONS TO BE REMOVED IN ENTIRETY FROM EXISTING ROOF. ROOF TO BE PATCHED AND FLASHED TO MATCH EXISTING ROOFING. PARAPET TO BE CONSTRUCTED CONTIGUOUS WITH EXISTING.
- ④ EXISTING ROOF ACCESS HATCH.

\\sawtooth\projects\2021\20210814\20210814_01_RoofPlan.dwg - 08/14/2021 10:47:00 AM - 1/8" = 1'-0" - 01 Roof Plan

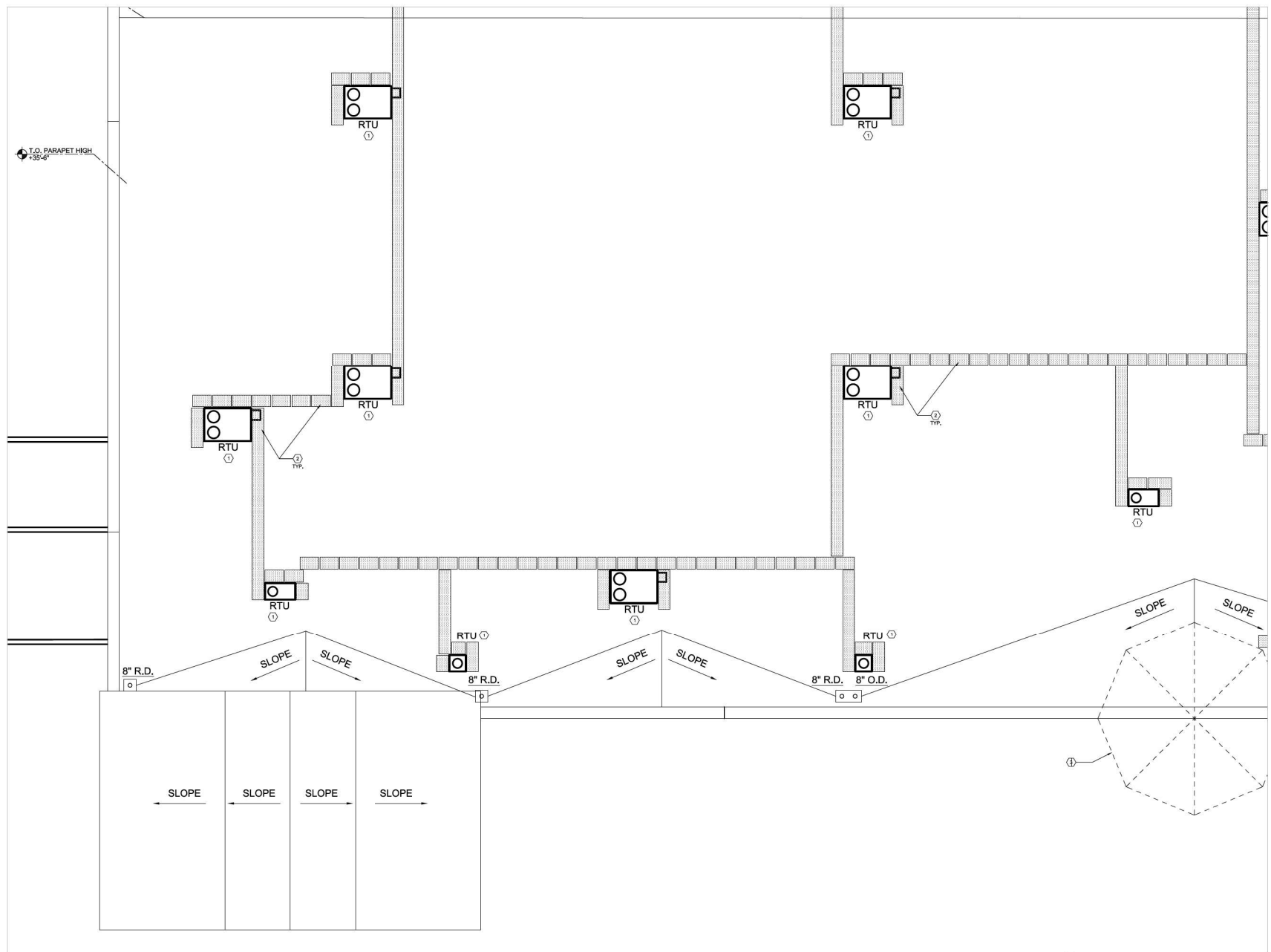


01 roof plan
 SCALE: 1/8" = 1'-0"



keyed notes

- ① EXISTING RTU MOUNTED ON EXISTING ROOF CURB.
- ② EXISTING NON-SLIP ROOF WALKING SURFACE.
- ③ EXISTING "WATER TOWER" FEATURE AND ASSOCIATED STRUCTURAL CONNECTIONS TO BE REMOVED IN ENTIRETY FROM EXISTING ROOF. ROOF TO BE PATCHED AND FLASHED TO MATCH EXISTING ROOFING FINISHES TO BE CONSTRUCTED CONTIGUOUS WITH EXISTING.
- ④ EXISTING ROOF ACCESS HATCH.



01 roof plan
SCALE: 1/8" = 1'-0"



keyed notes

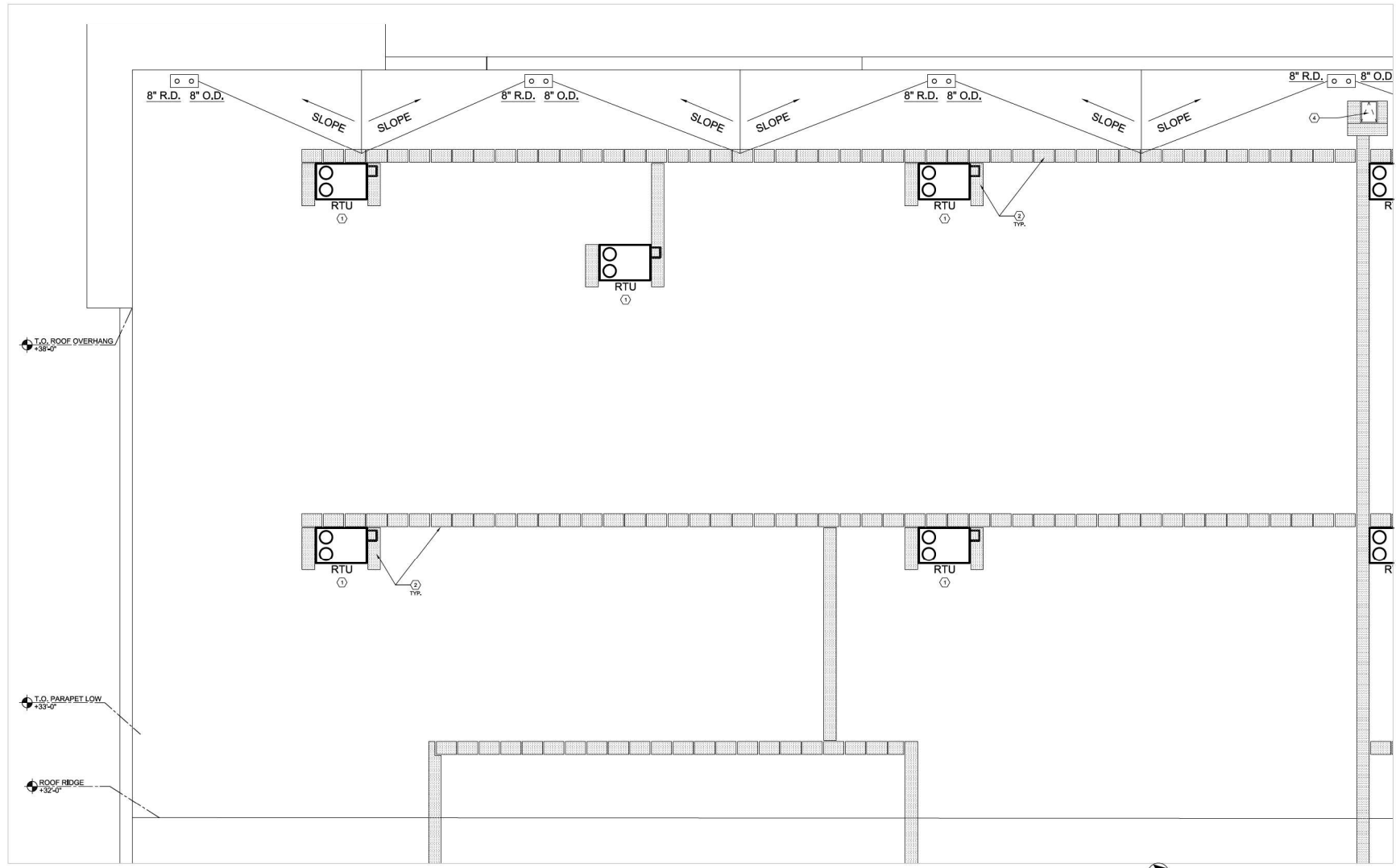
- ① EXISTING RTU MOUNTED ON EXISTING ROOF CURB.
- ② EXISTING NON-SLIP ROOF WALKING SURFACE.
- ③ EXISTING "WATER TOWER" FEATURE AND ASSOCIATED STRUCTURAL CONNECTIONS TO BE REMOVED IN ENTIRETY FROM EXISTING ROOF. ROOF TO BE PATCHED AND FLASHED TO MATCH EXISTING FOOTING. PARAPET TO BE CONSTRUCTED CONTIGUOUS WITH EXISTING.
- ④ EXISTING ROOF ACCESS HATCH.

C:\Users\jessam\OneDrive\Documents\Projects\SAHCD0170\01_Roof Plan.dwg (1/8" = 1'-0") (1/11/2021 10:18:10 AM)

submittals	date
PRE-APPLICATION	08-18-2021
CURRENT MOD	08-08-2021

no.	description	date

THESE RECORD DRAWINGS IN THE FORM OF REVISIONS TO THE CONTRACT DOCUMENTS REFLECT THE CHANGES IN THE WORK MADE DURING CONSTRUCTION AND ARE BASED ON THE INFORMATION FURNISHED BY THE CONTRACTOR TO THE ARCHITECT. THE ARCHITECT, WD PARTNERS, HAS NOT REVIEWED THE INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY, ERRORS, OMISSIONS, AND COMPLETENESS OF THE INFORMATION IN THESE DRAWINGS PROVIDED BY THE CONTRACTOR.



01 roof plan
SCALE: 1/8" = 1'-0"

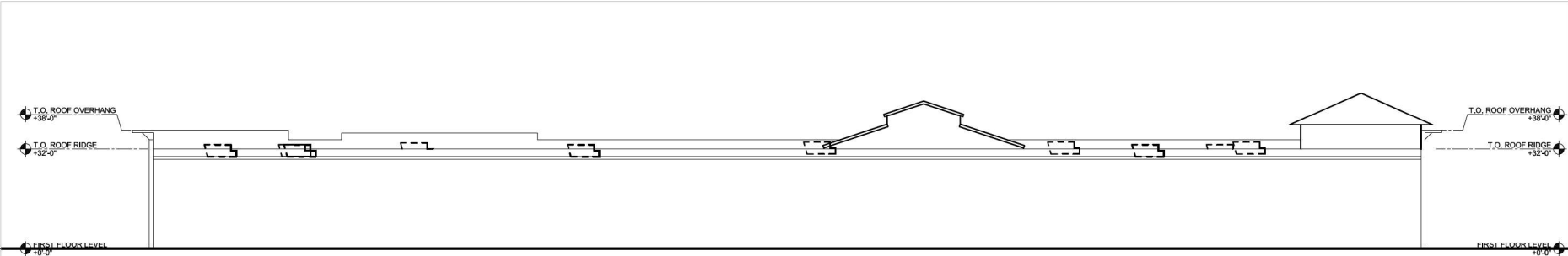


keyed notes

- ① EXISTING RTU MOUNTED ON EXISTING ROOF CURB.
- ② EXISTING NON-SLIP ROOF WALKING SURFACE.
- ③ EXISTING "WATER TOWER" FEATURE AND ASSOCIATED STRUCTURAL CONNECTIONS TO BE REMOVED IN ENTIRETY FROM EXISTING ROOF. ROOF TO BE PATCHED AND FLASHED TO MATCH EXISTING ROOFING. PARAPET TO BE CONSTRUCTED CONTINUOUS WITH EXISTING.
- ④ EXISTING ROOF ACCESS HATCH.

\\wdpartners\projects\7007 DressLawrence\Drawings\A1.6d.dwg (1/18/2021 10:58:10 AM) User: jason@wdpartners.com

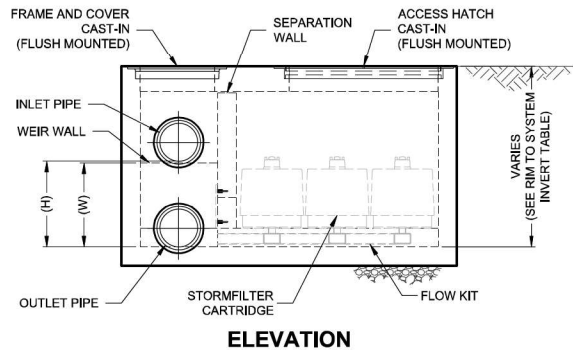
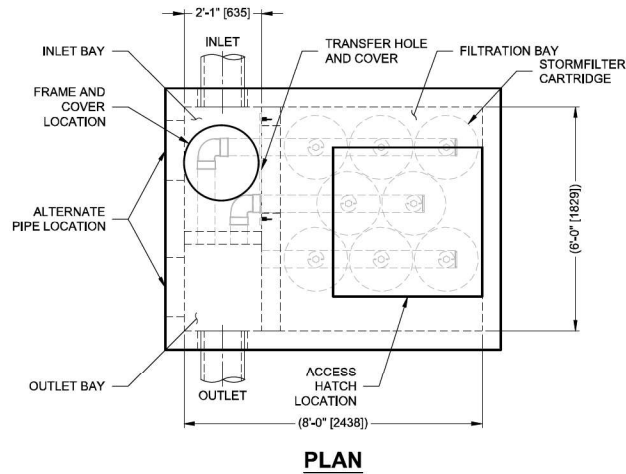
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01 building section
SCALE | 1/16" = 1'-0"

SAHCD0170-01-01 Building Section - 01-01-2021 - 180 N Sunrise Ave - Roseville, CA - Wood Partners, Inc. - 7007 Cassiar Blvd - Roseville, CA - 95661 - 01-01-2021 - 180 N Sunrise Ave - Roseville, CA - Wood Partners, Inc. - 7007 Cassiar Blvd - Roseville, CA - 95661

ARCHITECTURAL | STRUCTURAL | MECHANICAL | ELECTRICAL | PLUMBING | FIRE PROTECTION | INTERIORS | LANDSCAPE ARCHITECTURE



The Stormwater Management
StormFilter[®]

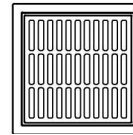
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 6,302,609; 6,904,676; 5,707,677; 6,985,197; 6,027,639; 6,649,046. RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

STORMFILTER DESIGN NOTES

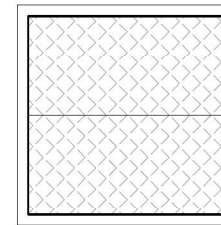
- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD
- A 6' x 8' [1829 x 2438] PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (8) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE

CARTRIDGE SIZE (in. [mm])	27 [686]			18 [457]			LOW DROP		
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]			2.3 [701]			1.8 [549]		
HEIGHT OF WEIR (W) (ft. [mm])	3.00 [914]			2.25 [686]			1.75 [533]		
SPECIFIC FLOW RATE (gpm/sf [L/s/m ²])	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm [L/s])	22.5 [1.42]	18.79 [1.19]	11.25 [0.71]	15 [0.95]	12.53 [0.79]	7.5 [0.47]	10 [0.63]	8.35 [0.53]	5 [0.32]

* 1.67 gpm/sf [1.13 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB[®] (PSORB) MEDIA ONLY



FRAME AND GRATE
 (24" SQUARE)
 (NOT TO SCALE)



ACCESS HATCH
 (48" SQUARE)
 (NOT TO SCALE)



FRAME AND COVER
 (24" ROUND)
 (NOT TO SCALE)

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROP (LD))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
FILTER BAY RIM ELEVATION			
PIPE DATA:			
INLET PIPE 1	INVERT	MATERIAL	DIAMETER
INLET PIPE 2			
OUTLET PIPE			

NOTES/SPECIAL REQUIREMENTS:

RIM TO SYSTEM INVERT

CARTRIDGE SIZE	MIN. HEIGHT	MAX. HEIGHT
LOW DROP / 18"	3'-6"	4'-10"
27"	4'-2"	4'-10"

PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7-INCHES.** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **38 SECONDS.** SPECIFIC FLOW RATE SHALL BE **2 GPM/SF (MAXIMUM).** SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF OF MEDIA (MAXIMUM).**

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
5. STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-0", AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- C. CONTRACTOR TO ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- F. CONTRACTOR TO REMOVE THE TRANSFER HOLE COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

CONTECH
 ENGINEERED SOLUTIONS LLC

www.ContechES.com
 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
 800-338-1122 513-645-7000 513-645-7993 FAX

SFPD0608-S
 6' x 8' PEAK DIVERSION STORMFILTER
 SHALLOW STANDARD DETAIL